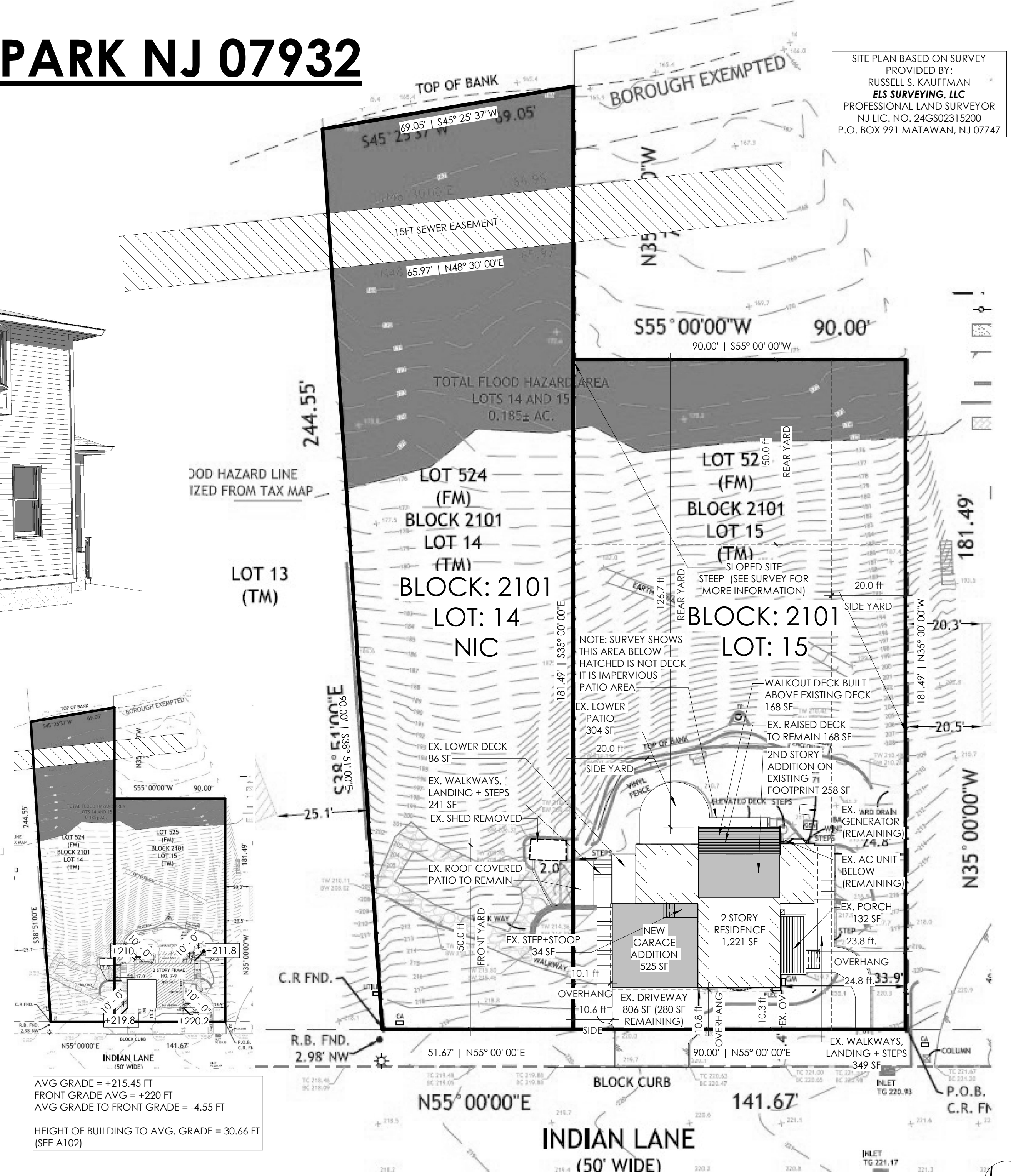


9 INDIAN LANE FLORHAM PARK NJ 07932

BLOCK 2101 | LOT 15

SINGLE FAMILY ADDITION



SITE PLAN BASED ON SURVEY PROVIDED BY:
 RUSSELL S. KAUFFMAN
ELS SURVEYING, LLC
 PROFESSIONAL LAND SURVEYOR
 N.J. LIC. NO. 24GS02315200
 P.O. BOX 991 MATAWAN, NJ 07747

ZONING INFO.

9 INDIAN LANE FLORHAM PARK NJ
 ADDITION TO SINGLE FAMILY HOME

BLOCK 2101 LOT 15
 R-44 - RESIDENCE ZONE

	REQUIRED	EXISTING	PROPOSED	VARIANCE	
PRINCIPAL BUILDING	FRONT YARD SETBACK	50 FT	10.3 FT * EX.HOUSE	10.8 FT * GARAGE NO INCREASE	NO
	SIDE YARD SETBACK	20 FT	24.7 FT	10.1 FT V	YES
	ONE SIDE COMBINED	28% OF LOT WIDTH	46.44%	39.33%	NO
	REAR YARD SETBACK	50 FT	126.7 FT	NO CHANGE	NO
MAX. HEIGHT	35 FT	30.66 FT	NO CHANGE	NO	
MAX. STORIES	2	2	NO CHANGE	NO	
MIN. HABITABLE FLOOR SPACE	1,800 SF	1,221 SF 1ST FLR 541 SF 2ND FLR	1,221 SF 1ST FLR 799 SF 2ND FLR	NO	
LOT AREA	43,560 SF	16,333.6 SF*	N/A	N/A	
LOT WIDTH	140 FT	90 FT*	N/A	N/A	
LOT DEPTH	160 FT	181.49 FT	N/A	N/A	
MAX. BLDG COVERAGE	10%	7.5% (1,232.5 SF)	11.9% (1939.6 SF) V	YES	
MAX. IMPROVED COV.	25%	21.3% (3,480.5 SF)	NO INCREASE BUILDING OVER DRIVEWAY	NO	
MAX. FRONT YARD SETBACK	WITHIN 10FT OF STREET AVG (65 FT)	10.3 FT * EX.HOUSE	10.8 FT * GARAGE NO INCREASE	NO	

* = EXISTING NON-CONFORMING V = VARIANCE REQUIRED

IMPROVED COVERAGE CALCULATIONS

EXISTING:	NEW/MODIFICATIONS:
EX. WALKWAYS, LANDING + STEPS (LEFT SIDE) = 241 SF	
EX. LOWER DECK (LEFT SIDE) = 86 SF	
EX. LOWER PATIO = 304 SF	
EX. RAISED DECK = 168 SF	DECK ADDED ABOVE EX. DECK = 168 SF (NO INCREASE)
EX. DRIVEWAY = 806 SF	
EX. PORCH = 132 SF	
EX. WALKWAYS, LANDING + STEPS (RIGHT SIDE) = 349 SF	NEW GARAGE ADDITION ON EX. DRIVEWAY = 525 SF (NO INCREASE)
EX. HOUSE = 1,221 SF	+ 2ND STORY ADDITION ON EX. FOOT PRINT = 258 SF (NO INCREASE)
EX. STEP+STOOP = 34 SF	
EX. ROOF OVERHANG LEFT (TO BE REMOVED) = 76 SF	
EX. ROOF OVERHANG RIGHT = 52 SF	
TOTAL EXISTING = 3,469 SF	NEW TOTAL W/ MODIFICATIONS = 3,469 SF

BUILDING COVERAGE CALCULATIONS

EX. HOUSE = 1,221 SF	DECK ADDED ABOVE EX. DECK = 168 SF (NO INCREASE)
EX. DECK = 168 SF	
EX. PORCH = 132 SF	+ 2ND STORY ADDITION ON EX. FOOT PRINT = 258 SF (NO INCREASE)
EX. ROOF OVERHANG LEFT (TO BE REMOVED) = 76 SF	
EX. ROOF OVERHANG RIGHT = 52 SF	NEW GARAGE ADDITION = 525 SF
TOTAL EXISTING = 1,649 SF	NEW TOTAL W/ ADDITION = 2,174 SF

AVG. GRADE CALCULATION:

TOP LEFT = +210	FRONT GRADE SURVEY GRADE POINT = +219.9
TOP RIGHT = +211.8	
BOTTOM LEFT = +219.8	= +219.9 - (+215.45) = 4.45 FT BELOW FRONT GRADE ON ARCHITECTURAL DRAWINGS
BOTTOM RIGHT = +220.2	
TOTAL = +861.8 / 4 = +215.45	BUILDING HEIGHT FROM AVG GRADE = 31'-6 1/2"
AVG GRADE = 215.45	

ORDINANCE DEFINITIONS:

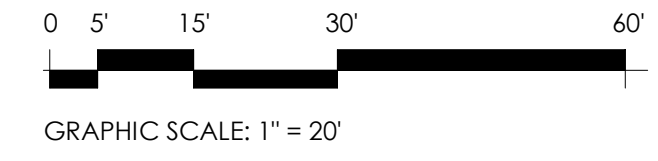
BUILDING LOT COVERAGE
 THE PERCENTAGE OF A LOT COVERED BY BUILDING STRUCTURES, AS MEASURED AT THE EXTERIOR OF THE WALLS, AND NOT INCLUDING THE AREA UNDER ROOF OVERHANGS THAT EXTEND UNDER 18 INCHES BEYOND THE BUILDING WALL, SHOULD THERE BE ANY. IN ANY INSTANCE WHERE AN OVERHANG EXCEEDS 18 INCHES, THE ENTIRE OVERHANG SHALL BE INCLUDED IN BUILDING COVERAGE CALCULATIONS. BUILDING LOT COVERAGE SHALL INCLUDE ALL PERMANENTLY FIXED SOLID ROOF STRUCTURES, WITH THE EXCEPTION OF ANY ACCESSORY STRUCTURES THAT ARE UNDER 200 SQUARE FEET IN AREA.

HEIGHT OF BUILDINGS
 THE VERTICAL DISTANCE OF A STRUCTURE MEASURED FROM THE AVERAGE ELEVATION OF THE FINISHED GRADE 10 FEET FROM THE BUILDING CORNERS, MEASURED DIAGONALLY, TO THE LEVEL OF THE HIGHEST POINT OF THE ROOF. ON LOTS OF LESS THAN TWO ACRES IN LOT SIZE, WHERE RETAINING WALLS ARE PROPOSED, THE HEIGHT SHALL BE MEASURED FROM THE AVERAGE GRADE OF THE LOT PRIOR TO CONSTRUCTION.

LOT COVERAGE, IMPROVED
 THAT PERCENTAGE OF A LOT WHICH IS IMPROVED OR IS PROPOSED TO BE IMPROVED WITH BUILDINGS AND STRUCTURES, COVERED BY SURFACES THAT HAVE BEEN COMPACTED OR COVERED WITH A LAYER OF MATERIAL SO THAT IT IS HIGHLY RESISTANT TO INFILTRATION BY WATER, INCLUDING, BUT NOT LIMITED TO, DRIVEWAYS, PARKING LOTS, PEDESTRIAN WALKWAYS, SIGNS, AND OTHER MAN-MADE IMPROVEMENTS ON THE GROUND SURFACE WHICH ARE MORE IMPERVIOUS THAN THE NATURAL SURFACE. FOR PURPOSES OF THIS DEFINITION, THE AREA OF WATER WITHIN A POOL, AND GRAVEL LANDSCAPING SHALL BE EXEMPT FROM THE LOT COVERAGE CALCULATION. NOTWITHSTANDING ANYTHING TO THE CONTRARY ABOVE, STORMWATER DETENTION BASINS (WITH OR WITHOUT LINERS) AND ARTIFICIAL TURF ATHLETIC FIELDS SHALL NOT BE CONSIDERED TO BE IMPROVED LOT COVERAGE.

2 AVG GRADE CALCULATION
 1" = 60'-0"

1 SITE PLAN - EXISTING & PROPOSED
 1" = 20'-0"



DRAWING LIST

SHEET NUMBER	SHEET NAME
A100	ZONING REVIEW
A101	EXISTING PLANS
A102	EXISTING ELEVATIONS
A103	PROPOSED PLANS
A104	PROPOSED ELEVATIONS

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REV	DESCRIPTION	DATE

ISSUE FOR SD:
ISSUE FOR DD:
ISSUE FOR PLANNING BD:
ISSUE FOR PERMIT:
ISSUE FOR CONSTRUCTION:

NOTES:

ZONING BOARD SUBMISSION

Javier Fuentes Architecture
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 E. jfuentesarch@gmail.com
 W. www.jfuentesarch.com

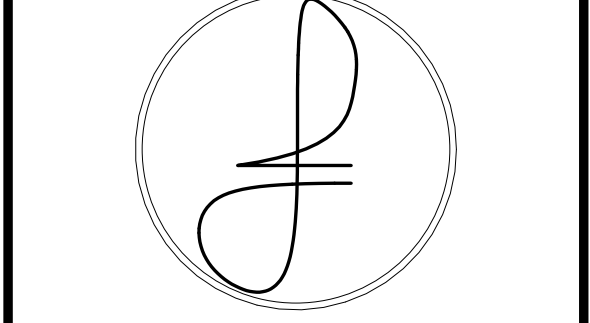
PROJECT
 ADDITION TO SINGLE FAMILY RESIDENCE

OWNER
 KERRY KONECNY & NIMA MOAYER

LOCATION
 9 INDIAN LANE
 FLORHAM PARK NJ

DRAWING
 ZONING REVIEW

JAVIER E. FUENTES, R.A.
 NJ : 21A102145600 PA : RA409168
 NY : 044031



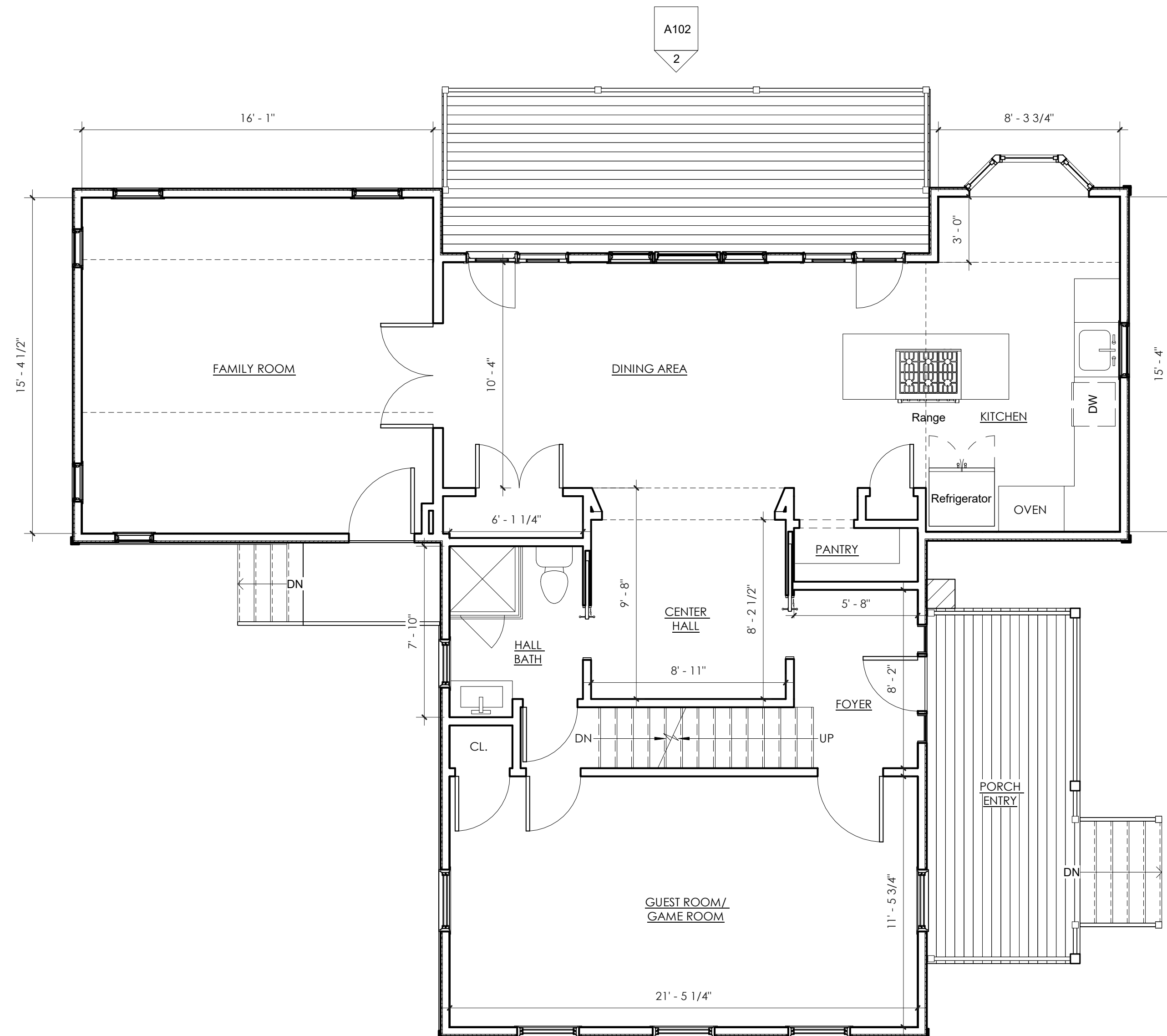
DATE NOV. 25TH 2023
BY JF PROJECT # 202365
DRAWING #
A100 1 OF 5

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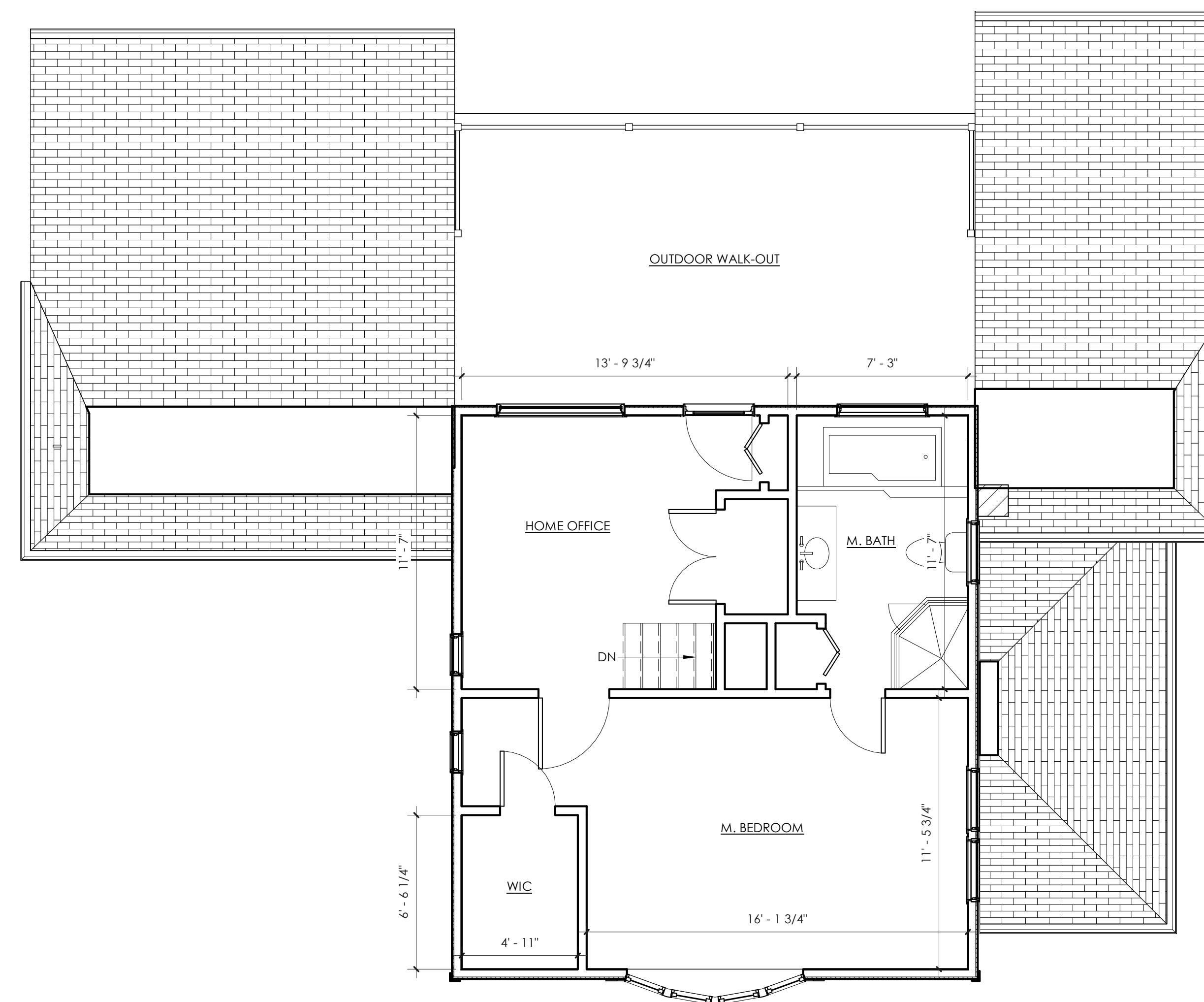
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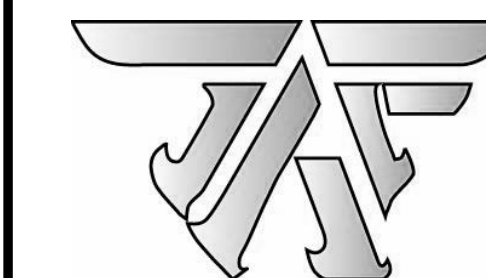
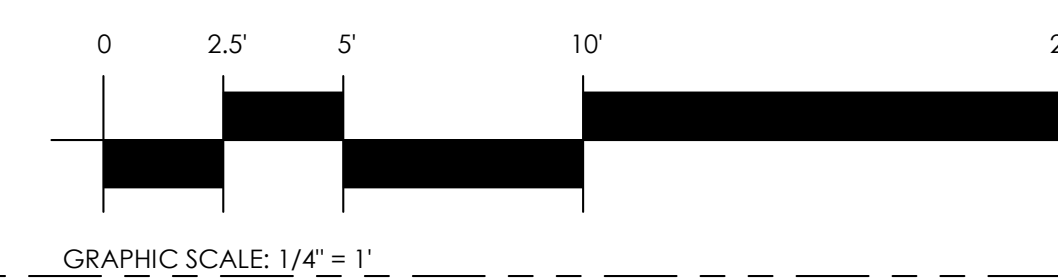
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1 1ST FLOOR - EXISTING
 1/4" = 1'-0"



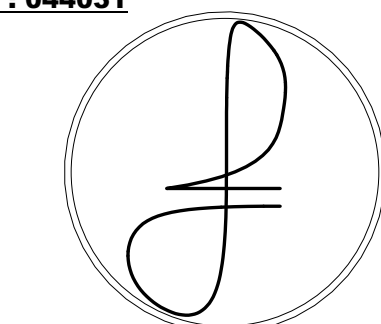
2 2ND FLOOR - EXISTING
 1/4" = 1'-0"



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PROJECT
 ADDITION TO SINGLE FAMILY RESIDENCE
OWNER
 KERRY KONECNY & NIMA MOAYER
LOCATION
 9 INDIAN LANE
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DRAWING
 EXISTING PLANS

JAVIER E. FUENTES, R.A.
 NJ : 21A102145600 PA : RA409168
 NY : 044031



DATE NOV. 25TH 2023
BY JF PROJECT # 202365
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A101 2 OF 5

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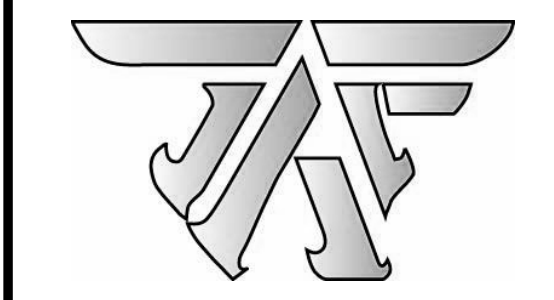
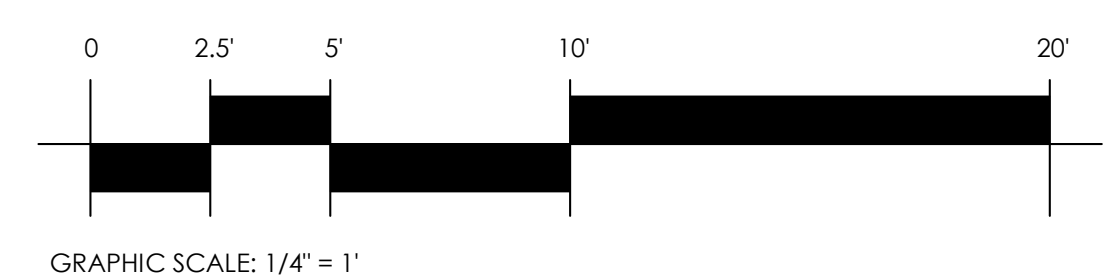
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1 FRONT ELEVATION - EXISTING
1/4" = 1'-0"



2 REAR ELEVATION - EXISTING
1/4" = 1'-0"



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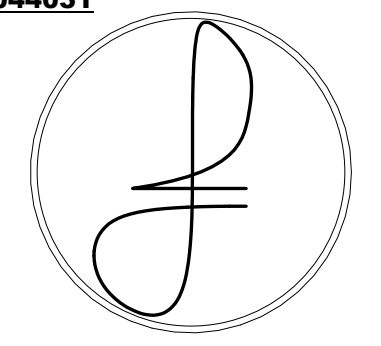
PROJECT
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LOCATION
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 FLORHAM PARK NJ

DRAWING
 EXISTING ELEVATIONS

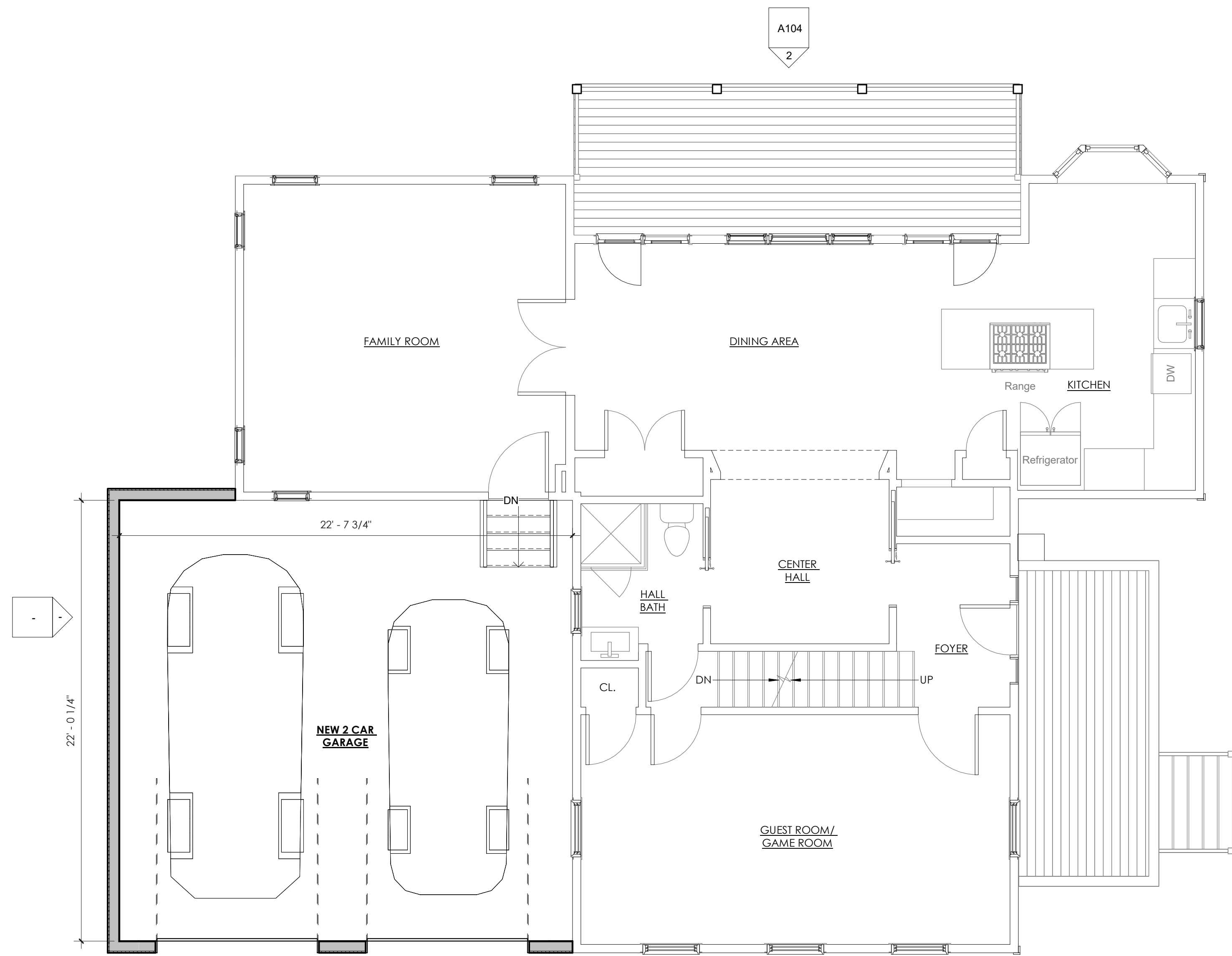
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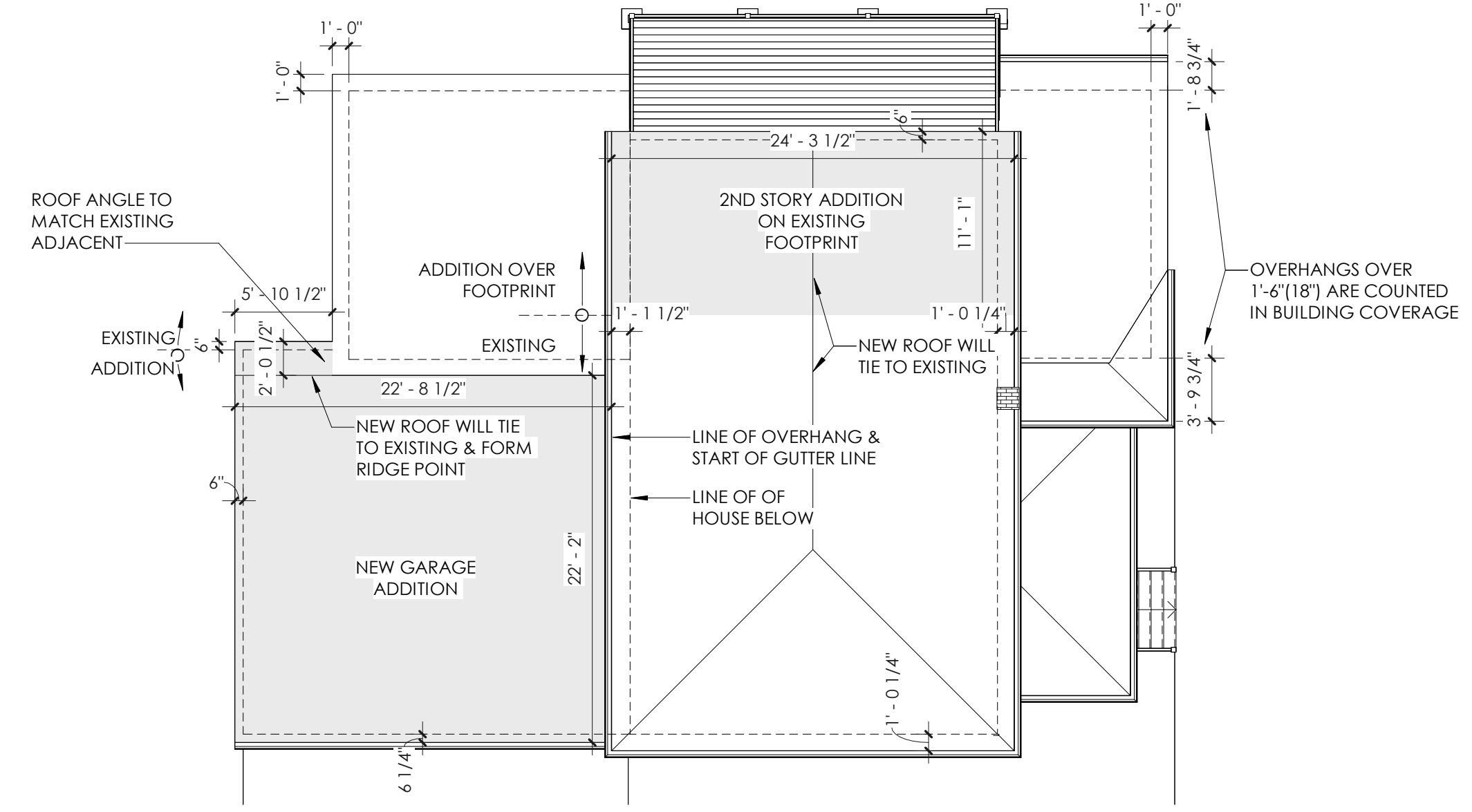
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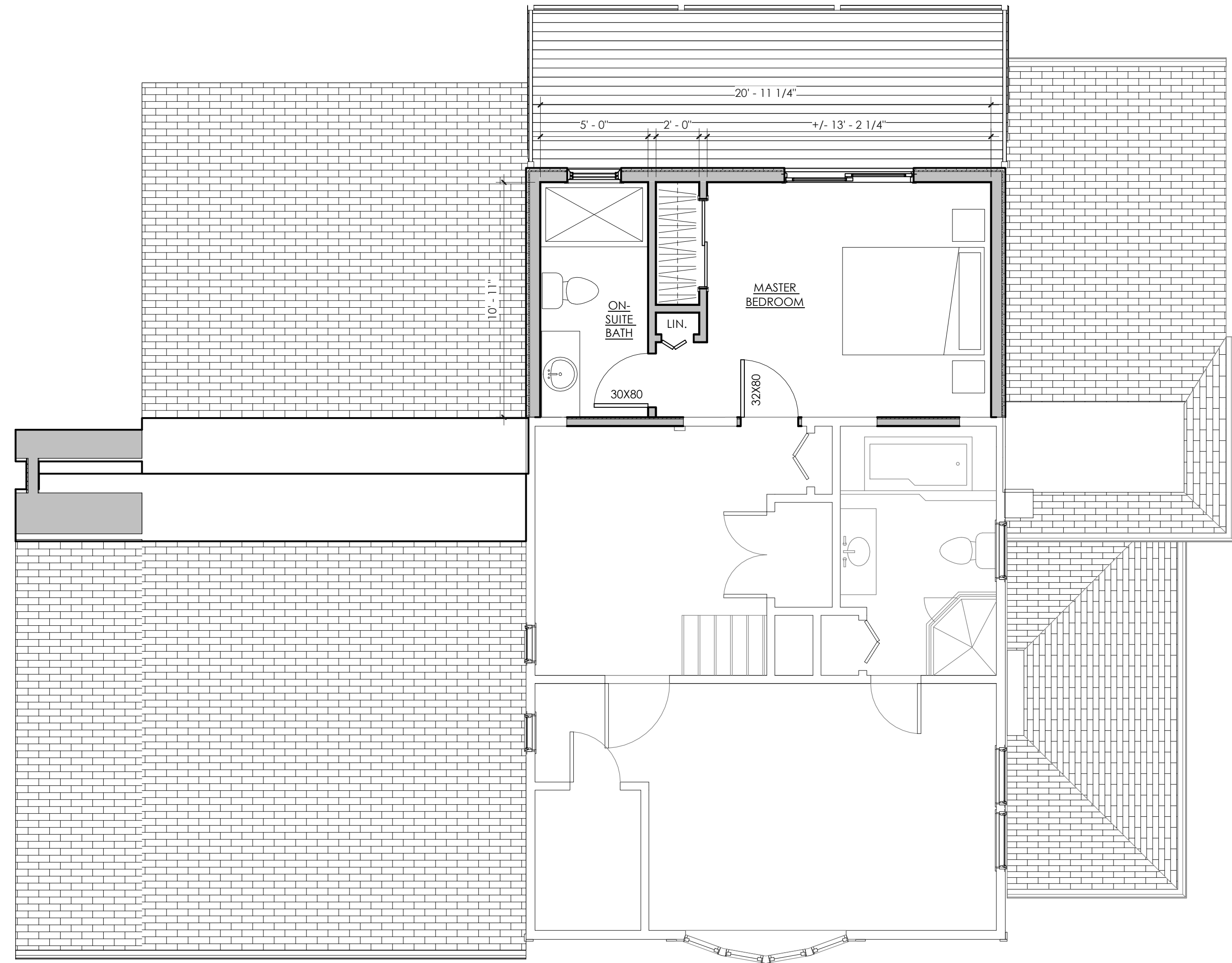
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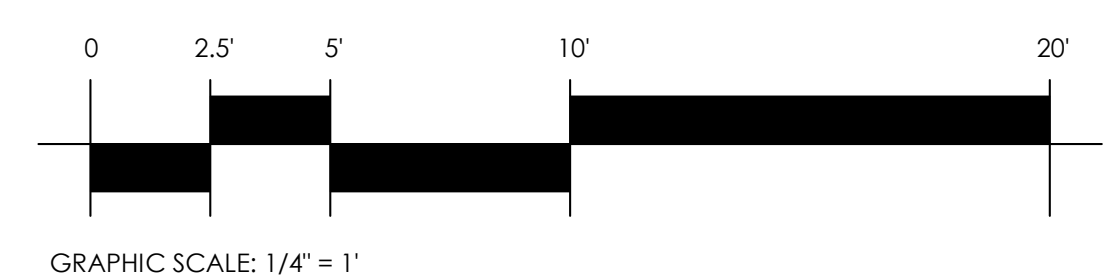
1 1ST FLOOR - NEW CONSTRUCTION
1/4" = 1'-0"



3 ROOF PLAN
1/8" = 1'-0"



2 2ND FLOOR - NEW CONSTRUCTION
1/4" = 1'-0"



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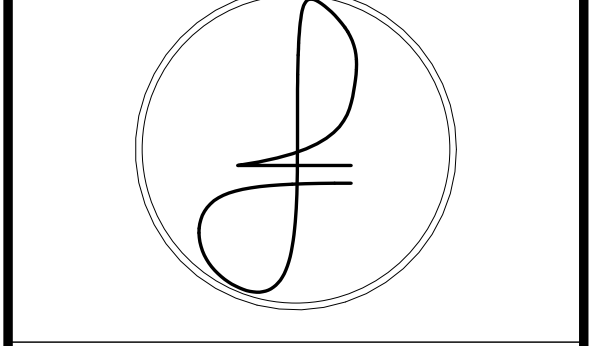
PROJECT
ADDITION TO SINGLE FAMILY RESIDENCE

OWNER
KERRY KONECNY & NIMA MOAYER

LOCATION
9 INDIAN LANE
FLORHAM PARK NJ

DRAWING
PROPOSED PLANS

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NJ : 21A102145600 PA : RA409168
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A103 4 OF 5

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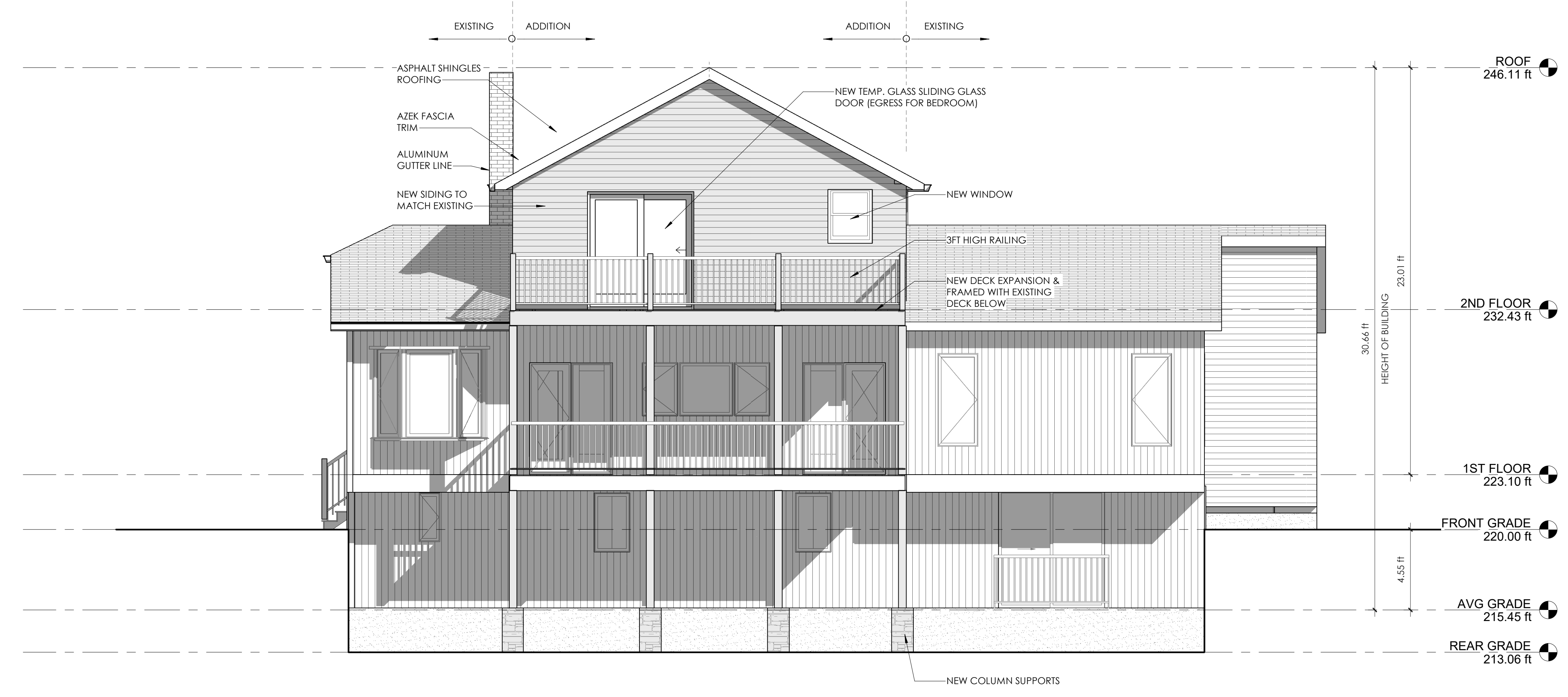
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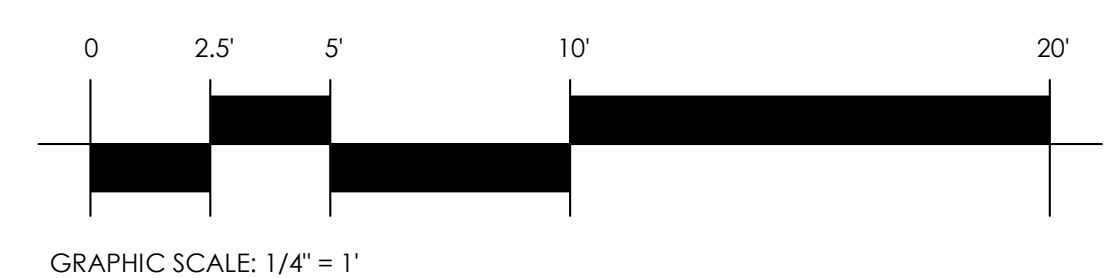
ZONING BOARD SUBMISSION



1 FRONT ELEVATION - PROPOSED
1/4" = 1'-0"



2 REAR ELEVATION - PROPOSED
1/4" = 1'-0"





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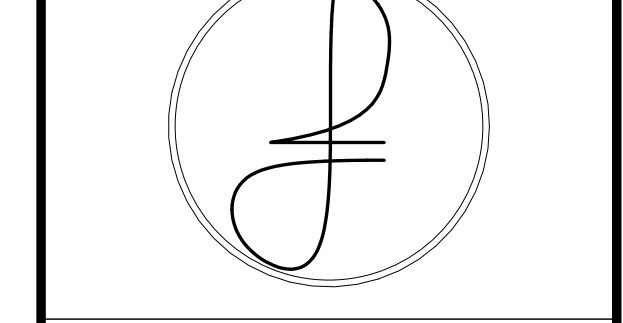
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LOCATION
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DRAWING
PROPOSED ELEVATIONS

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